

ALTERATIONS & ADDITIONS

19 COOKS AVENUE, CANTERBURY NSW 2192 - LOT 2, DP 13971



SHEET LIST

NUMBER	NAME	REVISION
21029-01	COVER SHEET	1
21029-10	EXISTING SITE PLAN & ANALYSIS	
21029-11	PROPOSED SITE PLAN AND ANALYSIS	
21029-12	EROSION & SEDIMENT CONTROL PLAN	
21029-13	STORMWATER PLAN, LANDSCAPE CALCULATIONS	
21029-14	POOL PLANS & DETAILS	
21029-20	EXISTING GROUND FLOOR PLAN	
21029-30	PROPOSED GROUND FLOOR PLAN	
21029-40	ELEVATIONS	
21029-41	ELEVATIONS	
21029-42	SECTION VIEWS	
21029-50	WINDOW & DOOR SCHEDULE & BASIX COMMITMENTS	
21029-51	SCHEDULE OF MATERIALS & FINISHES	
21029-80	GROSS FLOOR AREA PLANS	
21029-90	SHADOW DIAGRAMS 21ST MARCH	
21029-91	SHADOW DIAGRAMS 21ST MARCH	
21029-92	SHADOW DIAGRAMS 21ST MARCH	
21029-93	SHADOWS DIAGRAMS 21ST JUNE	
21029-94	SHADOWS DIAGRAMS 21ST JUNE	
21029-95	SHADOWS DIAGRAMS 21ST JUNE	
21029-100	NOTIFICATION PLANS	

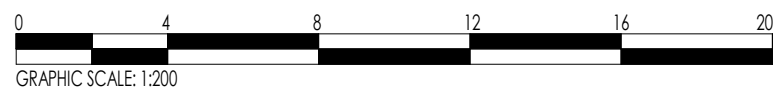
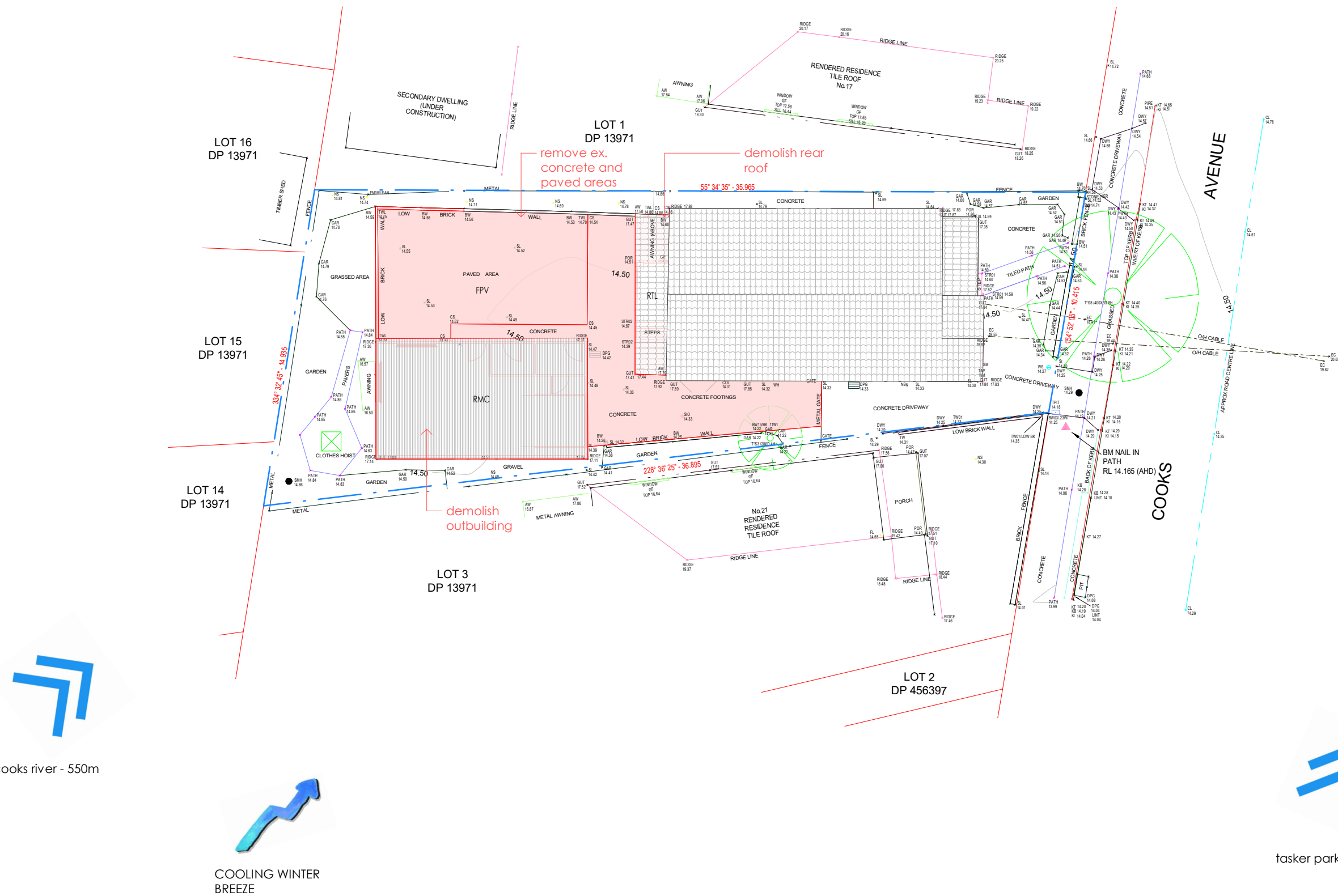
REVISION SCHEDULE

REVISION #	REVISION DESCRIPTION	REVISION DATE
1	ISSUED FOR DA	24/03/2022

COMPLIANCE CALCULATIONS

LOT AREA	448.9m ² (BY TITLE)
FSR PERMITTED - 0.55:1	246.895m ²
EXISTING GFA	141m ²
GFA PROPOSED	139m ²
SITE COVERAGE PERMITTED - 60%	269.34m ²
SITE COVERAGE PROPOSED	165.9m ² (INCLUDING POOL)
LANDSCAPE REQUIRED - 15%	67.335m ²
LANDSCAPE PROPOSED	127m ²
PRIVATE OPEN SPACE REQUIRED	45m ²
PRIVATE OPEN SPACE PROPOSED	51m ²

CODE	DESCRIPTION
FPV	Paving
RMC	Metal Roof
RTL	Tiled Roof



LOT AREA	448.9m² (BY TITLE)
FSR PERMITTED - 0.55:1	246.895m²
EXISTING GFA	141m²
GFA PROPOSED	139m²
SITE COVERAGE PERMITTED - 60%	269.34m²
SITE COVERAGE PROPOSED	165.9m² (INCLUDING POOL)
LANDSCAPE REQUIRED - 15%	67.335m²
LANDSCAPE PROPOSED	127m²
PRIVATE OPEN SPACE REQUIRED	45m²
PRIVATE OPEN SPACE PROPOSED	51m²



FENCE DETAILS:

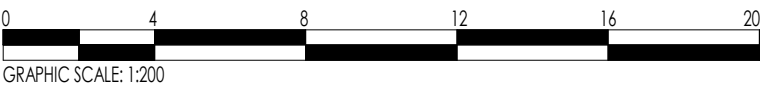
Anchoring base of fabric

GENERAL NOTES:

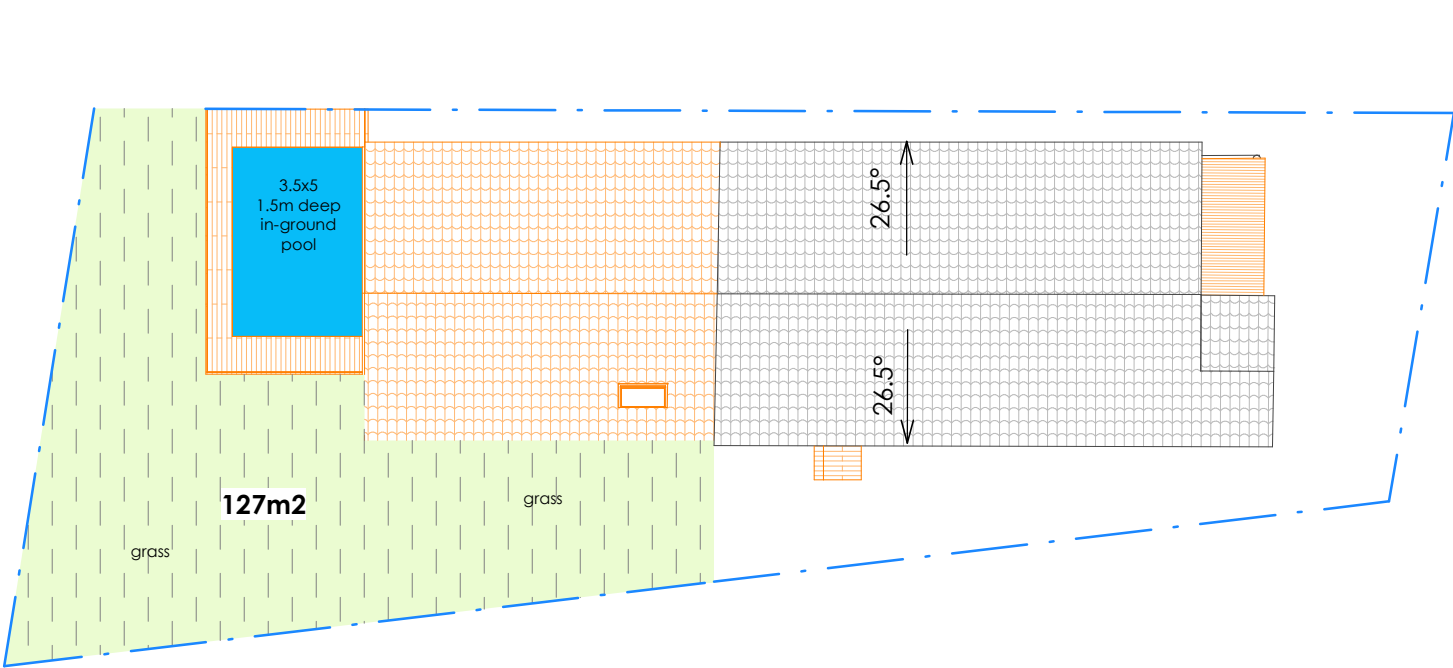
1. Sediment fence to be installed along a line of constant ground elevation wherever practical.
2. Both end of the sediment fence to extend up the slope at least 1m.
3. Support post to be spaced a maximum 2m unless the fence is supported by a top wire or mesh backing, in which case 3m maximum spacing.
4. Fence 'returns' shall be installed at maximum 20m spacing if fence is installed along the contour, otherwise 5 to 10m spacing.
5. Minimum 4 staples or tie wires per stake.

EROSION AND SEDIMENT CONTROL PLAN LEGEND

TEMPORARY SITE TOILET	
WASTE BIN	
TEMPORARY SITE OFFICE	
SILT FENCE AND SEDIMENT SOCK	
SITE ACCESS / VEHICLES	

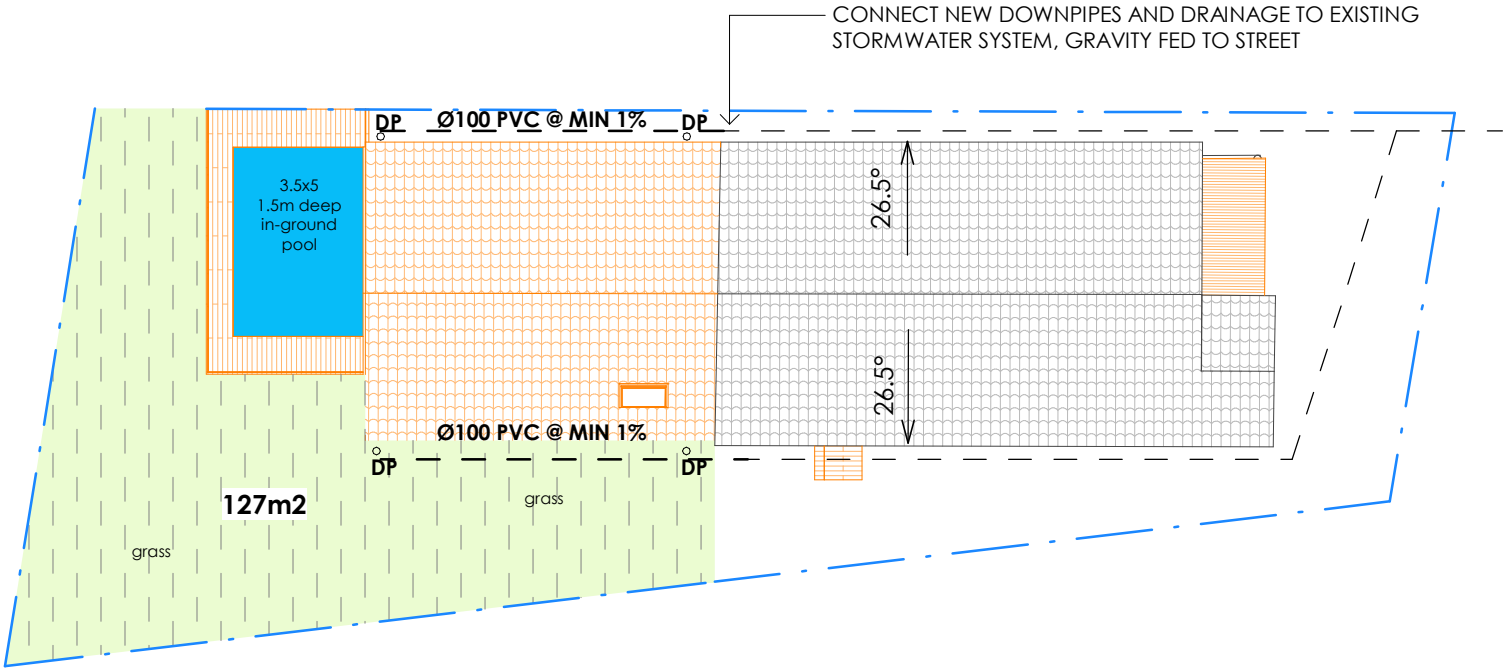


1. ALL LINES ARE TO BE Ø90 uPVC 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWERGRADE & SEALED.
2. EXISTING SERVICES LOCATIONS SHOWN INDICATIVE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.
4. ALL PITS IN DRIVEWAYS TO BE 450x450 CONCRETE AND ALL PITS IN LANDSCAPED AREAS TO BE 450x450 PLASTIC.
5. PITS LESS THAN 600mm DEEP MAY BE BRICK, PRECAST FOR CONCRETE.
6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
7. ALL EXTERNAL SLABS TO BE WATERPROOFED.
8. ALL GRATES TO HAVE CHILD PROOF LOCKS.
9. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
10. ALL DPs TO HAVE LEAF GUARDS.
11. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
12. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
13. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
14. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3.
15. CARE TO BE TAKEN AROUND EXISTING SEWER. STRUCTURAL ADVICE IS REQUIRED FOR SEWER PROTECTION AGAINST ADDITIONAL LOADING FROM NEW PITS, PIPES, RETAINING WALLS AND OSD BASIN WATER LEVELS.
17. ALL PIPES IN BALCONIES TO BE Ø65 uPVC CAST IN CONCRETE SLAB. CONTRACTOR TO PROVIDE A BREAK / OPEN VOID IN RAIL / BALLUSTRADE FOR STORMWATER EMERGENCY OVERFLOW.
- ALL ENCLOSED AREAS/PLANTER BOXES TO BE FITTED WITH FLOOR WASTES & DRAINED TO DISCHARGE SYSTEM
- DOWNPIPES TO BE CHECKED BY ARCHITECT & PLUMBER PRIOR TO CONSTRUCTION.



1 | Landscape Plan

SCALE: 1 : 200

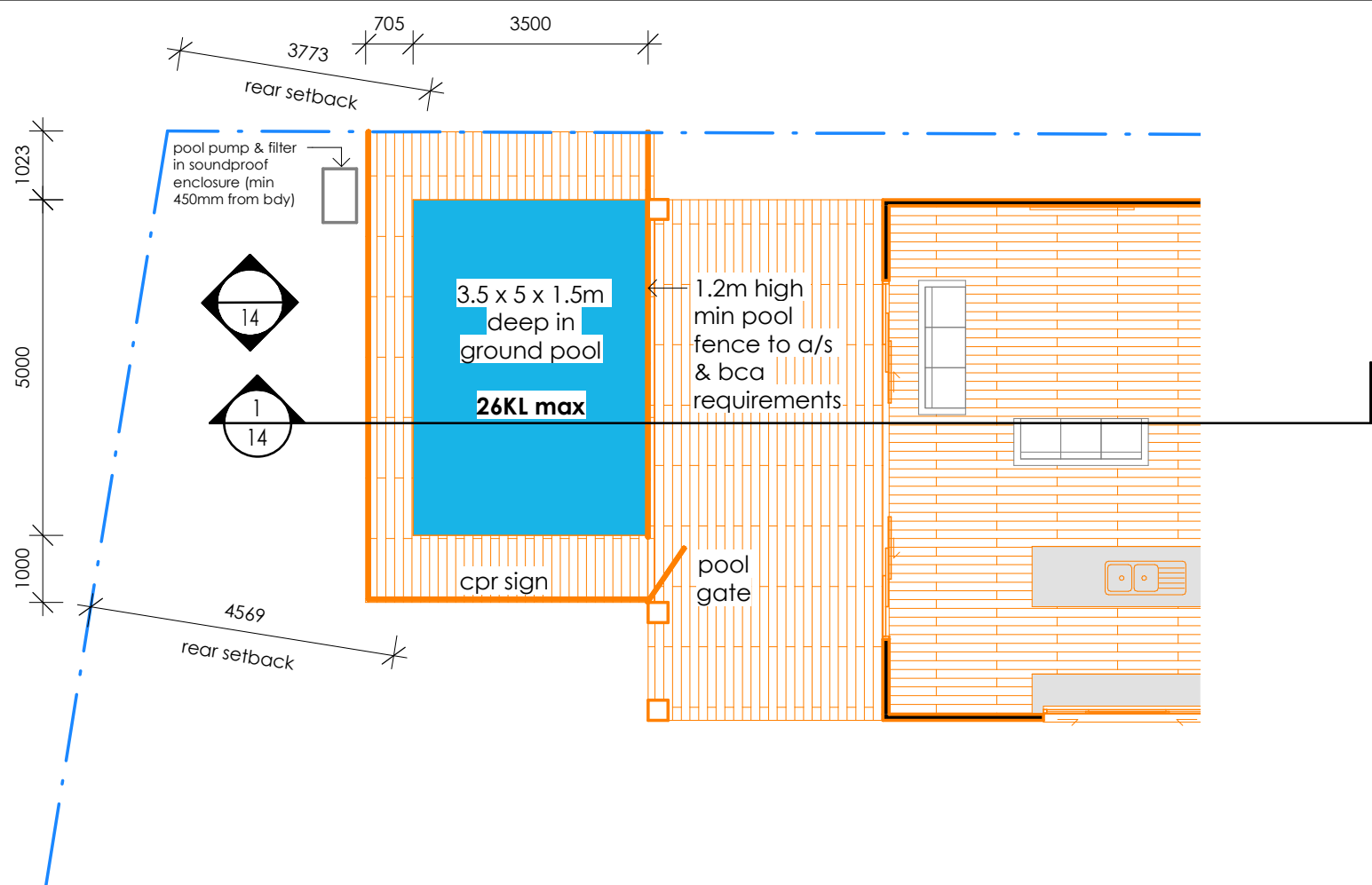


2 | Stormwater Plan

SCALE: 1 : 200

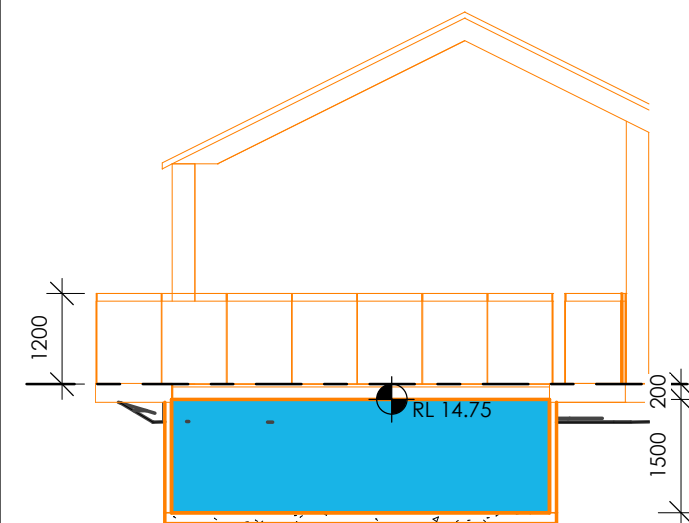
SWIMMING POOL REQUIREMENTS:

- POOL FENCING/BARRIERS TO BE PROVIDED TO THE POOL AREA IN ACCORDANCE WITH THE **SWIMMING POOLS ACT 1992**.
 - POOL FENCING MUST BE A MINIMUM OF 1.2M HIGH (MEASURED FROM OUTSIDE OF THE FENCING).
 - HORIZONTAL MEMBERS OF THE FENCE SHOULD BE PLACED ON THE INSIDE OF THE FENCE AND BE AT LEAST 900mm APART.
 - SPACE BETWEEN VERTICAL ELEMENTS TO BE NO LESS THAN 100MM.
 - ANY OPENING BETWEEN THE BOTTOM OF THE FENCE AND FINISHED GROUND LEVEL HEIGHT MUST BE 100MM OR LESS.
 - ALL POOL FENCING TO BE MAINTAINED IN A GOOD CONDITION (eg. MISSING ELEMENTS OF FENCE, BROKEN OR LOOSE).
 - GATES TO THE POOL AREA MUST OPEN OUTWARDS AND ARE TO BE FULLY SELF CLOSING AND SELF-LATCHING FROM ANY OPEN POSITION.
 - GATES MUST NOT BE PROPPED OPEN AT ANY TIME.
 - THERE ARE TO BE NO CLIMBABLE OBJECTS INCLUDING BARBEQUES, ROCKS OR LANDSCAPE WITHIN 900mm FROM THE OUTSIDE OF THE POOL FENCE WHICH COULD ALLOW A CHILD TO CLIMB OVER THE FENCE.
 - THE LATCHING DEVICE TO THE POOL GATE IS TO BE LOCATED 1.5m ABOVE GROUND LEVEL OR, ALTERNATIVELY, THE DEVICE IS TO BE LOCATED INSIDE THE GATE AND THE LATCHING DEVICE IS TO BE APPROPRIATELY SHIELDED FROM THE OUTSIDE IN ACCORDANCE WITH AS 1926.1 • 2007 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) TO ENSURE THE LATCHING DEVICE IS ONLY ACCESSIBLE BY STRETCHING OVER THE GATE.
 - IF ANY HOUSE WALL FORMS PART OF THE APPROVED CHILD-RESISTANT BARRIER TO THE POOL AREA (ie. IN RELATION TO POOLS INSTALLED BEFORE 3 AUGUST 1990), ALL DOOR AND WINDOW OPENINGS IN THE WALL/S MUST BE CHILD-RESISTANT IN ACCORDANCE WITH THE REGULATIONS TO PREVENT CHILDREN ACCESSING THE POOL AREA (SCREENS AND LOCKS)
 - AN APPROPRIATE RESUSCITATION SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN THE IMMEDIATE VICINITY OF THE POOL AREA.
- REFER TO THE SWIMMING POOLS ACT 1992, THE SWIMMING POOLS REGULATION 2008 AND AUSTRALIAN STANDARD AS 1926.1 - 2007 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) FOR A COMPLETE LIST OF REQUIREMENTS.



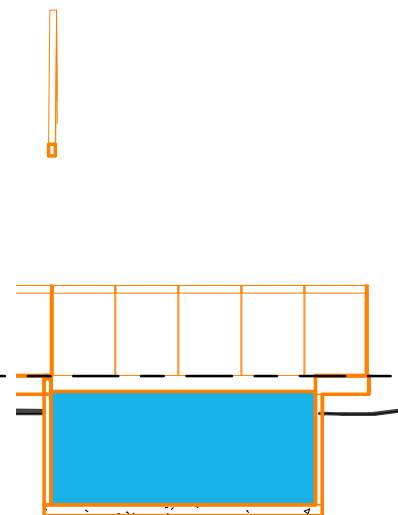
1 | Pool Plan

SCALE: 1 : 100



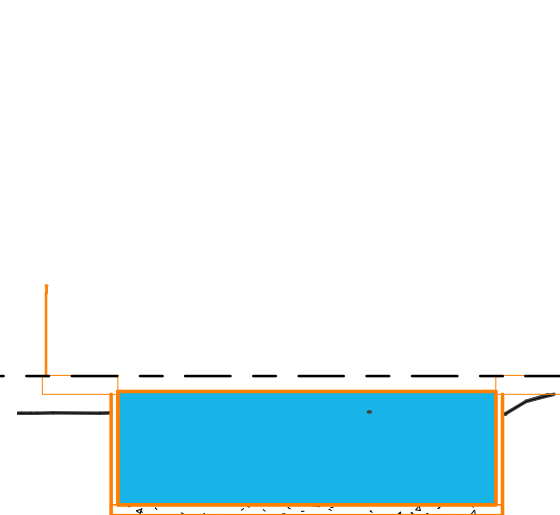
2 | Elevation 1 - a

REFER TO SHEET 14
SCALE: 1 : 100



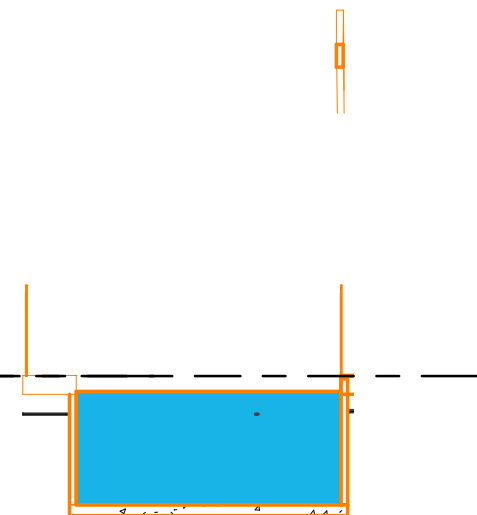
3 | Elevation 1 - b

REFER TO SHEET 14
SCALE: 1 : 100



4 | Elevation 1 - c

REFER TO SHEET 14
SCALE: 1 : 100



5 | Elevation 1 - d

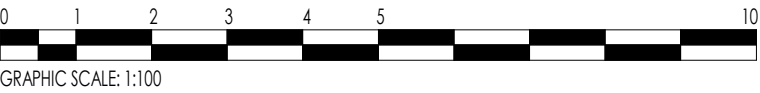
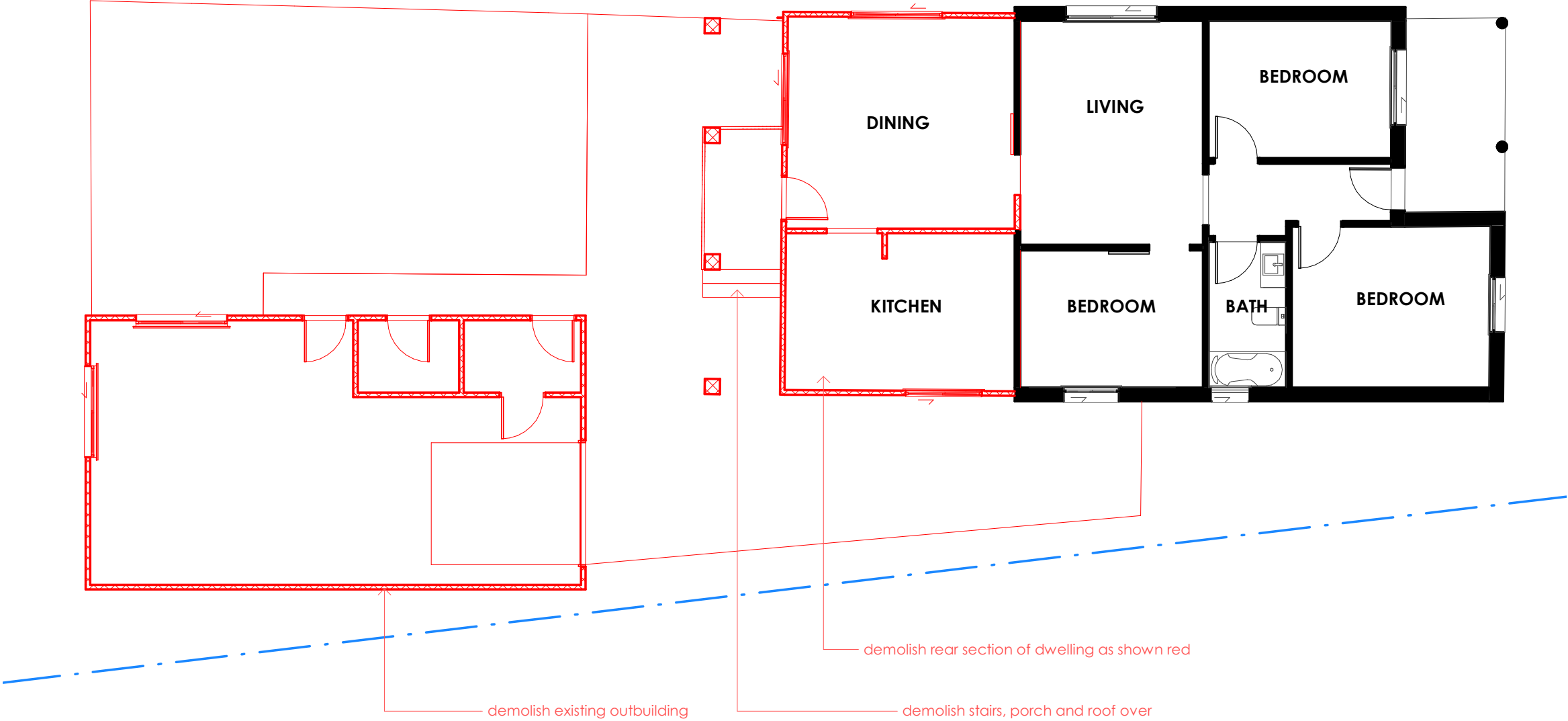
REFER TO SHEET 14
SCALE: 1 : 100



LEGEND	
COLOUR LEGEND	
EXISTING	<div></div>
DEMOLITION	<div></div>
NEW	<div></div>
SYMBOLS	
RL (REDUCED LEVEL TO AHD)	<div></div>
REVISION TAG NUMBER	<div></div>
SMOKE ALARM	<div></div>

GENERAL / SMOKE ALARM NOTE
-HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.5 & AS 3786.
- INTERNAL WALLS TO BE FINISHED WITH AS SELECTED BY CLIENT
- EXTERNAL WALLS TO BE FINISHED AS PER ELEVATIONS AND FINISHES SCHEDULE
- CONTRACTOR TO ENSURE WALLS ARE SET BACK FOR PROVISION OF CLADDING THICKNESS. ALL MEASUREMENTS OF CLADDING THICKNESS TO BE CONFIRMED PRIOR TO SET OUT OF WALLS
- CLADDING THICKNESS HAS NOT BEEN SHOWN ON THIS DRAWING FOR THE PURPOSES OF CLARITY. ALL EXTERIOR WALLS TO BE SET BACK AS PER THESE PLANS. ANY CLADDING TO BE IN LINE WITH SETBACK SHOWN IN DRAWINGS AND TO BE PROVISIONED DURING WALL SET OUT.

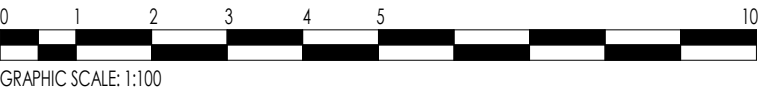
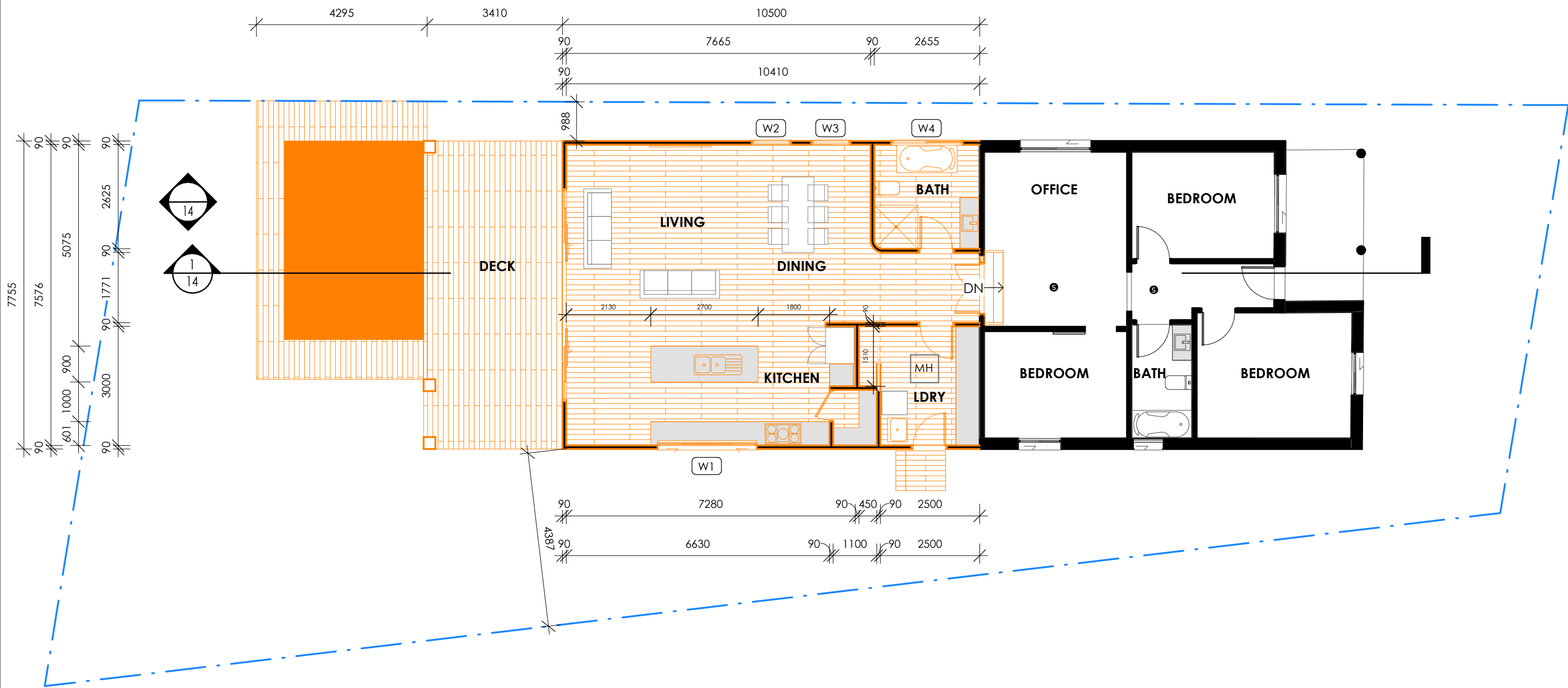
CODE	DESCRIPTION
------	-------------



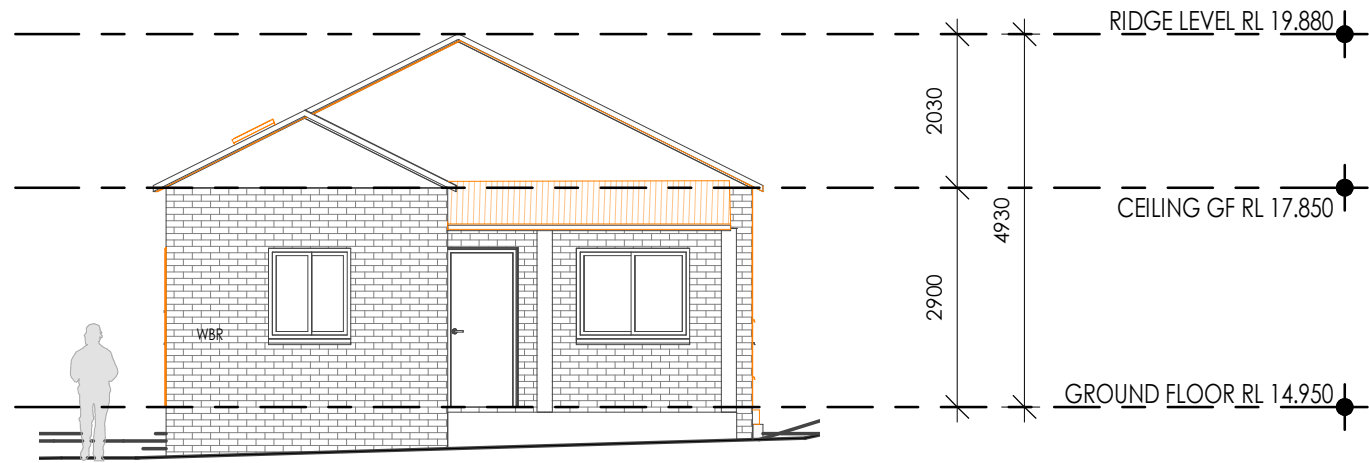
LEGEND	
COLOUR LEGEND	
EXISTING	<div></div>
DEMOLITION	<div></div>
NEW	<div></div>
SYMBOLS	
RL (REDUCED LEVEL TO AHD)	<div></div>
REVISION TAG NUMBER	<div></div>
SMOKE ALARM	<div></div>

GENERAL / SMOKE ALARM NOTE
-HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.5 & AS 3786.
- INTERNAL WALLS TO BE FINISHED WITH AS SELECTED BY CLIENT
- EXTERNAL WALLS TO BE FINISHED AS PER ELEVATIONS AND FINISHES SCHEDULE
- CONTRACTOR TO ENSURE WALLS ARE SET BACK FOR PROVISION OF CLADDING THICKNESS. ALL MEASUREMENTS OF CLADDING THICKNESS TO BE CONFIRMED PRIOR TO SET OUT OF WALLS
- CLADDING THICKNESS HAS NOT BEEN SHOWN ON THIS DRAWING FOR THE PURPOSES OF CLARITY. ALL EXTERIOR WALLS TO BE SET BACK AS PER THESE PLANS. ANY CLADDING TO BE IN LINE WITH SETBACK SHOWN IN DRAWINGS AND TO BE PROVISIONED DURING WALL SET OUT.

CODE	DESCRIPTION
------	-------------

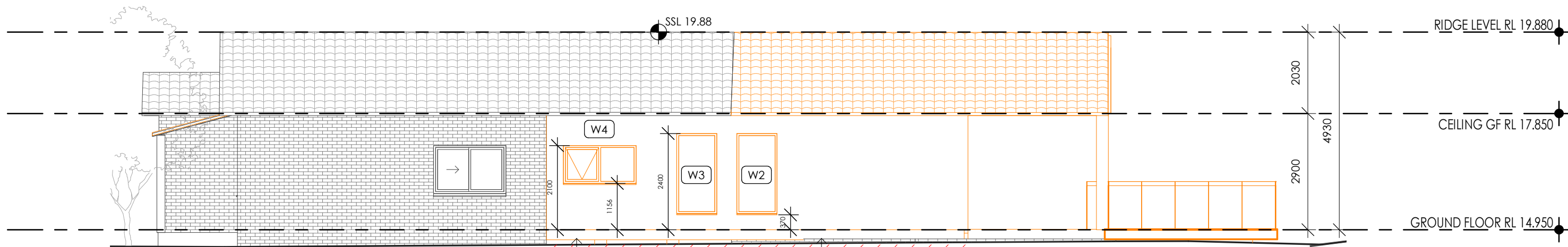


CODE	DESCRIPTION
WBR	Brickwork Wall



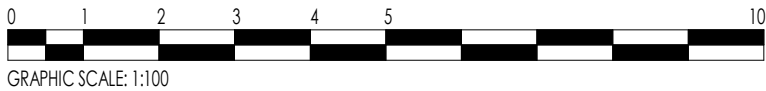
1 | ELEVATION 1

SCALE: 1 : 100

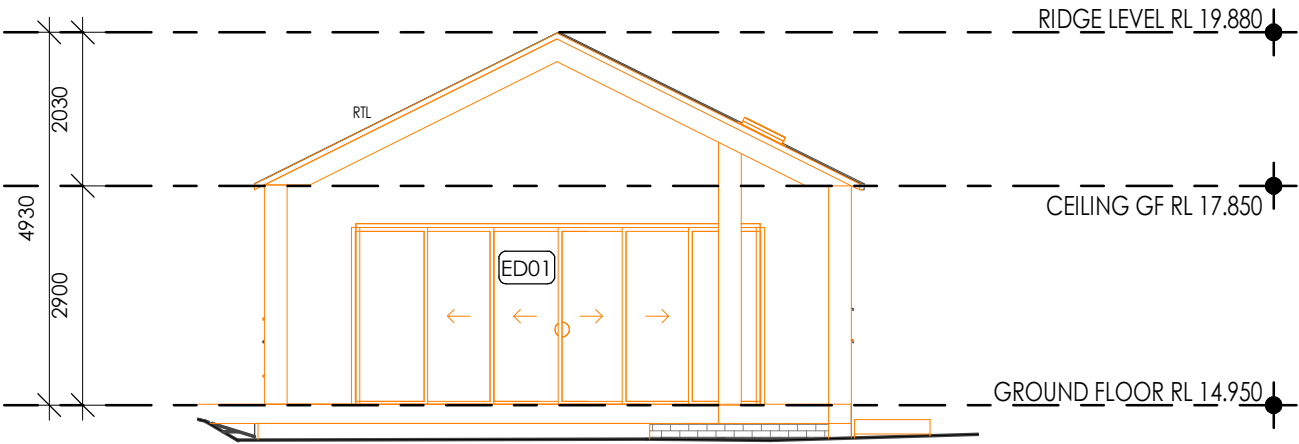


2 | ELEVATION 2

SCALE: 1 : 100

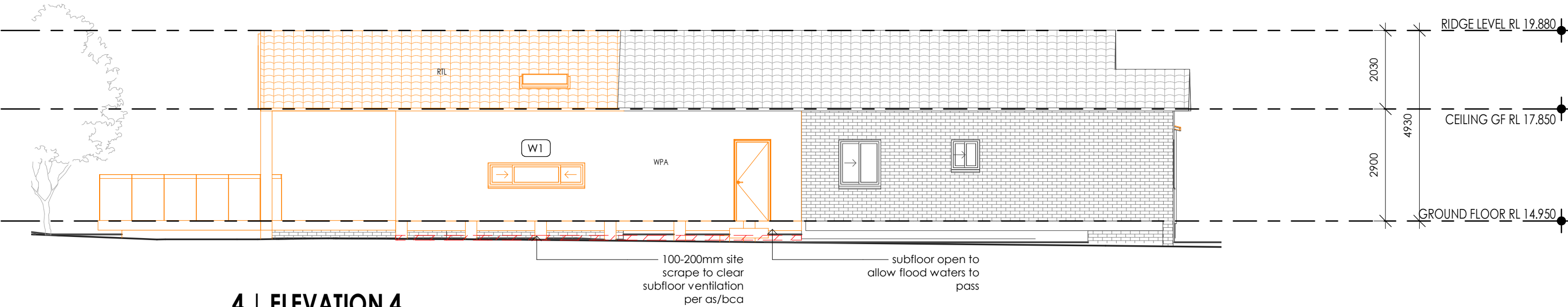


CODE	DESCRIPTION
RTL	Tiled Roof
WPA	Timber Framed Wall (Selected Cladding to Exterior)



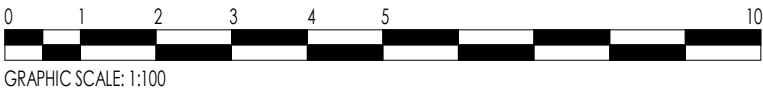
3 | ELEVATION 3

SCALE: 1 : 100

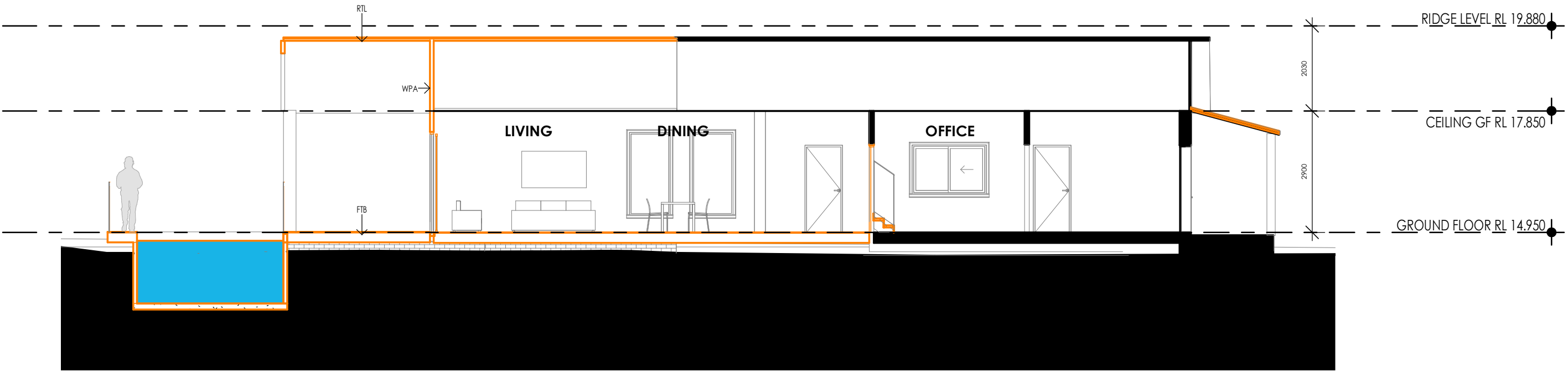


4 | ELEVATION 4

SCALE: 1 : 100

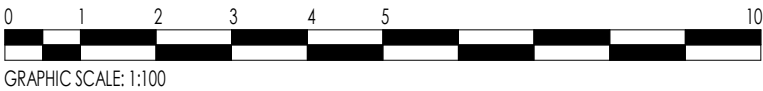


CODE	DESCRIPTION
FTB	Timber Flooring
RTL	Tiled Roof
WPA	Timber Framed Wall (Selected Cladding to Exterior)



1 | SECTION 1

SCALE: 1 : 100



DOOR SCHEDULE											
MARK	DESCRIPTION	LEAF DIMENSIONS				OPENING		ORIENTATION	GLAZING	FRAME	COMMENTS
		W1	W2	H	T	W	H				

GROUND FLOOR

ED01	Sliding Patio Door	1008		2350	40	6000	2400	SW	Vision	(none)	
------	--------------------	------	--	------	----	------	------	----	--------	--------	--

WINDOW SCHEDULE							
MARK	DESCRIPTION	ORIENTATION	DIMENSIONS			GLAZING	SHADING
			W	H	AREA		

GROUND FLOOR

SK1	Window - Fixed, 1200 x 1200mm	SE	1200	600	0.72 m²	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	(none)
W1	Sliding Window	SE	2500	600	1.50 m²	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	(none)
W2	Fixed Window	NW	1000	2000	2.00 m²	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	(none)
W3	Fixed Window	NW	1000	2000	2.00 m²	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	(none)
W4	Awning Window	NW	1810	944	1.71 m²	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	(none)

BASIX CERTIFICATE NO. 453767

Pool and Spa

Outdoor swimming pool

The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 26 kilolitres. The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.

Hot water system type

Gas instantaneous

Lighting type

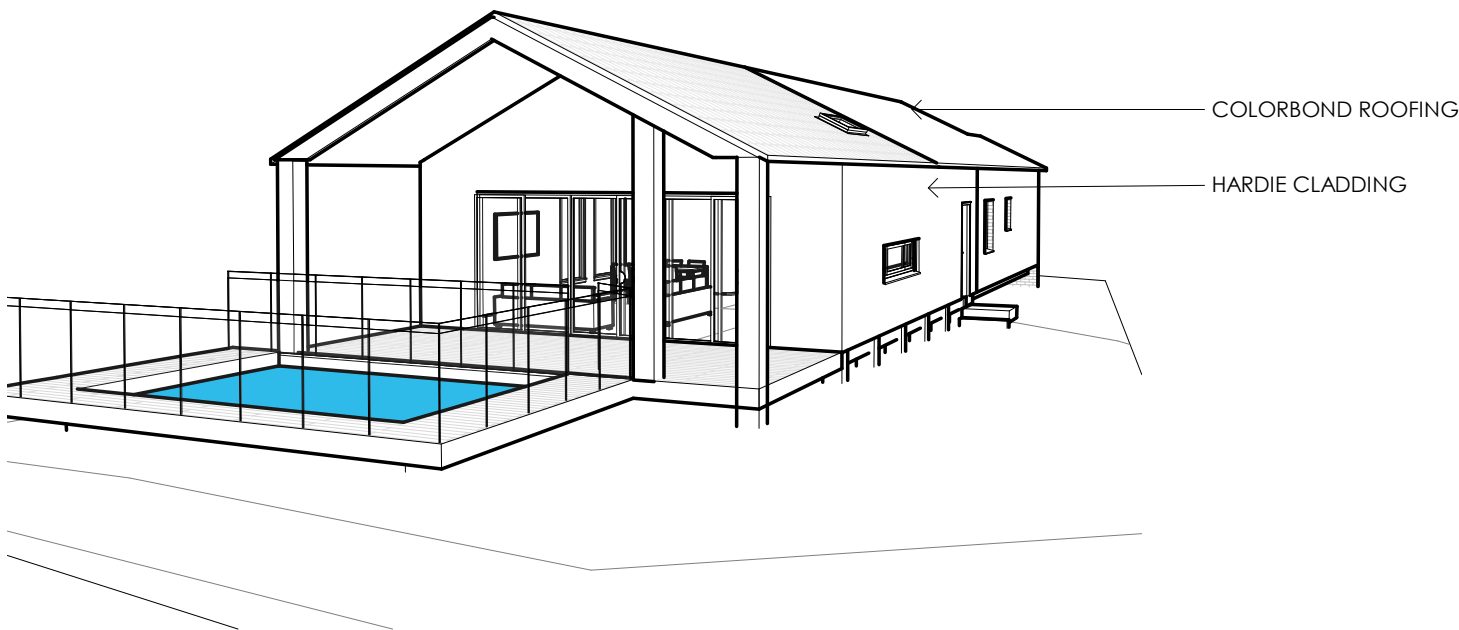
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps





New or altered fixture requirements

Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

Additional Insulation Requirements

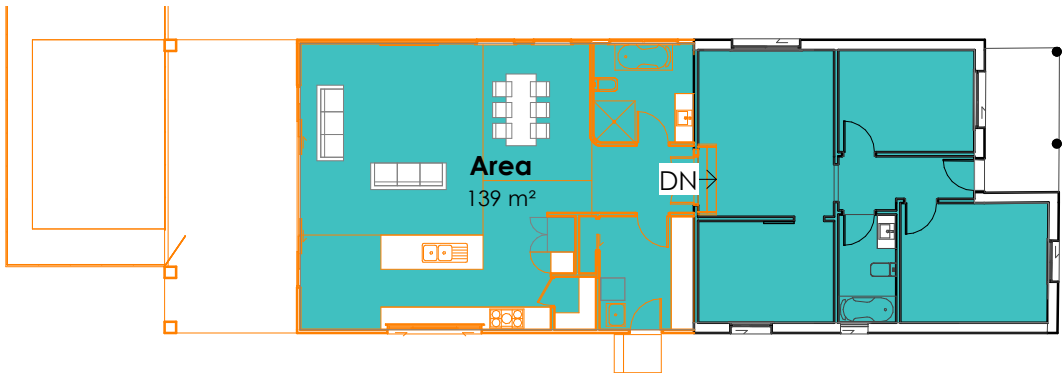
Construction suspended floor with open subfloor: framed (R0.7). external wall: framed (weatherboard, fibro, metal clad) (R0.40) flat ceiling, pitched roof	Additional insulation requirement (R-value) R0.8 (down) (or R1.50 including construction) R1.30 (or R1.70 including construction) ceiling: R3.00 (up), roof: foil/sarking
---	--



HARDIE CLADDING OR SIMILAR	STANDARD QUAD GUTTER	TILE ROOF TO MATCH EXISTING	COLORBOND 'MONUMENT' ROOF COLOUR
			

COMPLIANCE CALCULATIONS	
LOT AREA	448.9m² (BY TITLE)
FSR PERMITTED - 0.55:1	246.895m²
EXISTING GFA	141m²
GFA PROPOSED	139m²
SITE COVERAGE PERMITTED - 60%	269.34m²
SITE COVERAGE PROPOSED	165.9m² (INCLUDING POOL)
LANDSCAPE REQUIRED - 15%	67.335m²
LANDSCAPE PROPOSED	127m²
PRIVATE OPEN SPACE REQUIRED	45m²
PRIVATE OPEN SPACE PROPOSED	51m²

NAME	AREA
GROUND FLOOR	
Area	138.66 m²
	138.66 m²
	138.66 m²

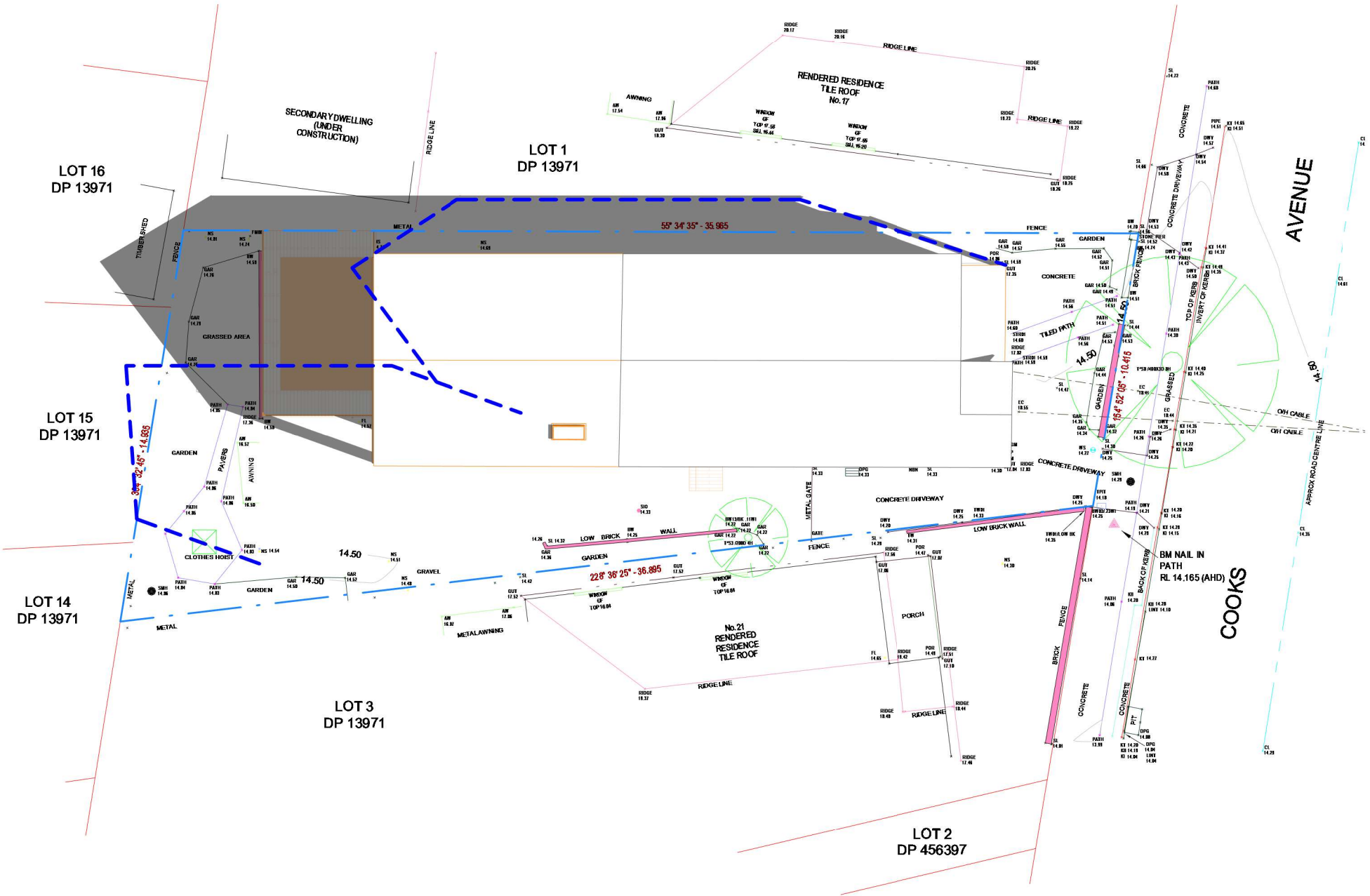


1 | GROUND FLOOR

SCALE: 1 : 200



EXISTING	PROPOSED
8:00am SHADOW LINE	8:00am SHADOW LINE
12pm SHADOW LINE	12pm SHADOW LINE
4:00pm SHADOW LINE	4:00pm SHADOW LINE

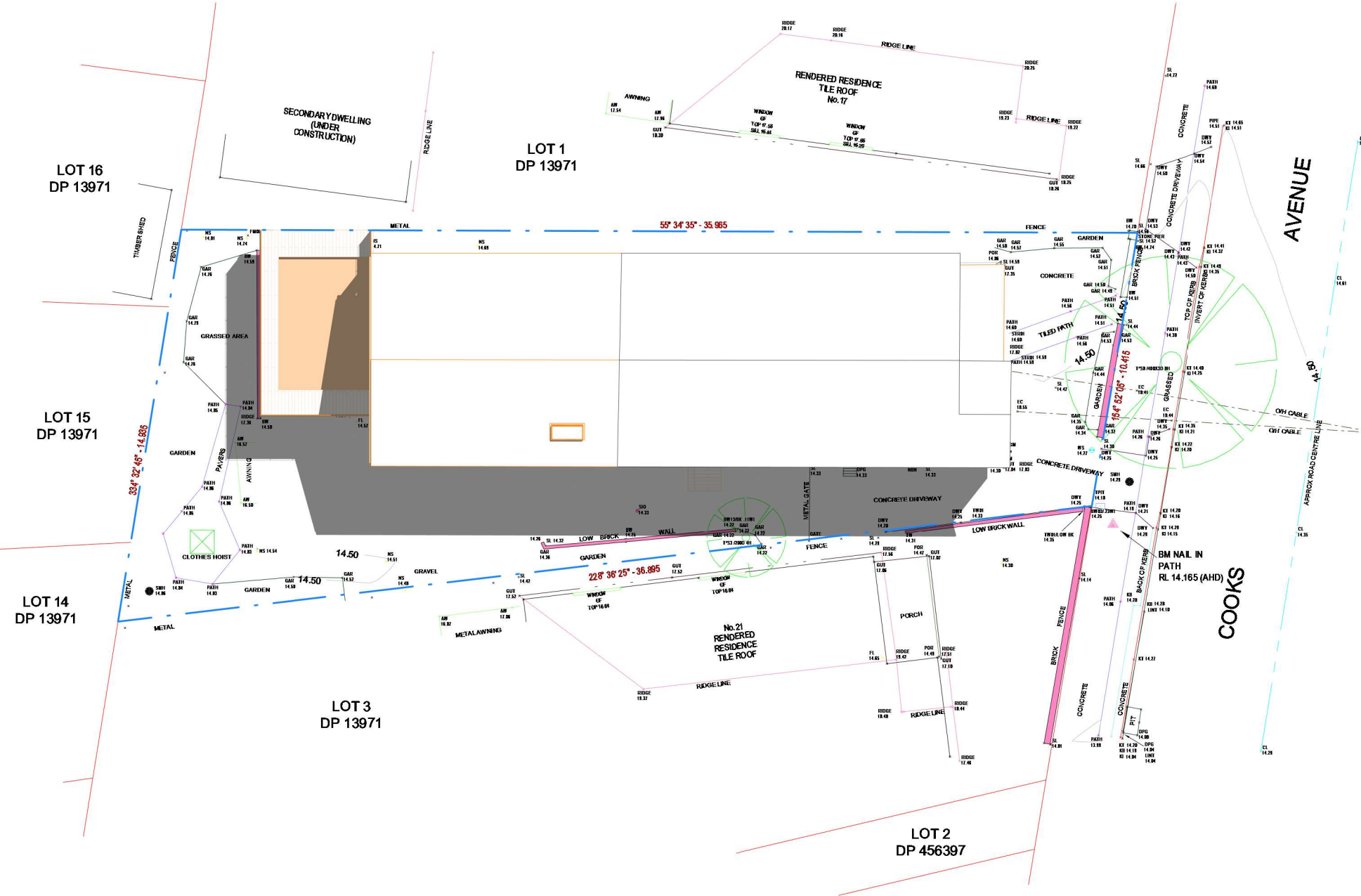


1 | Shadows - 21st March 0800

SCALE: 1 : 200



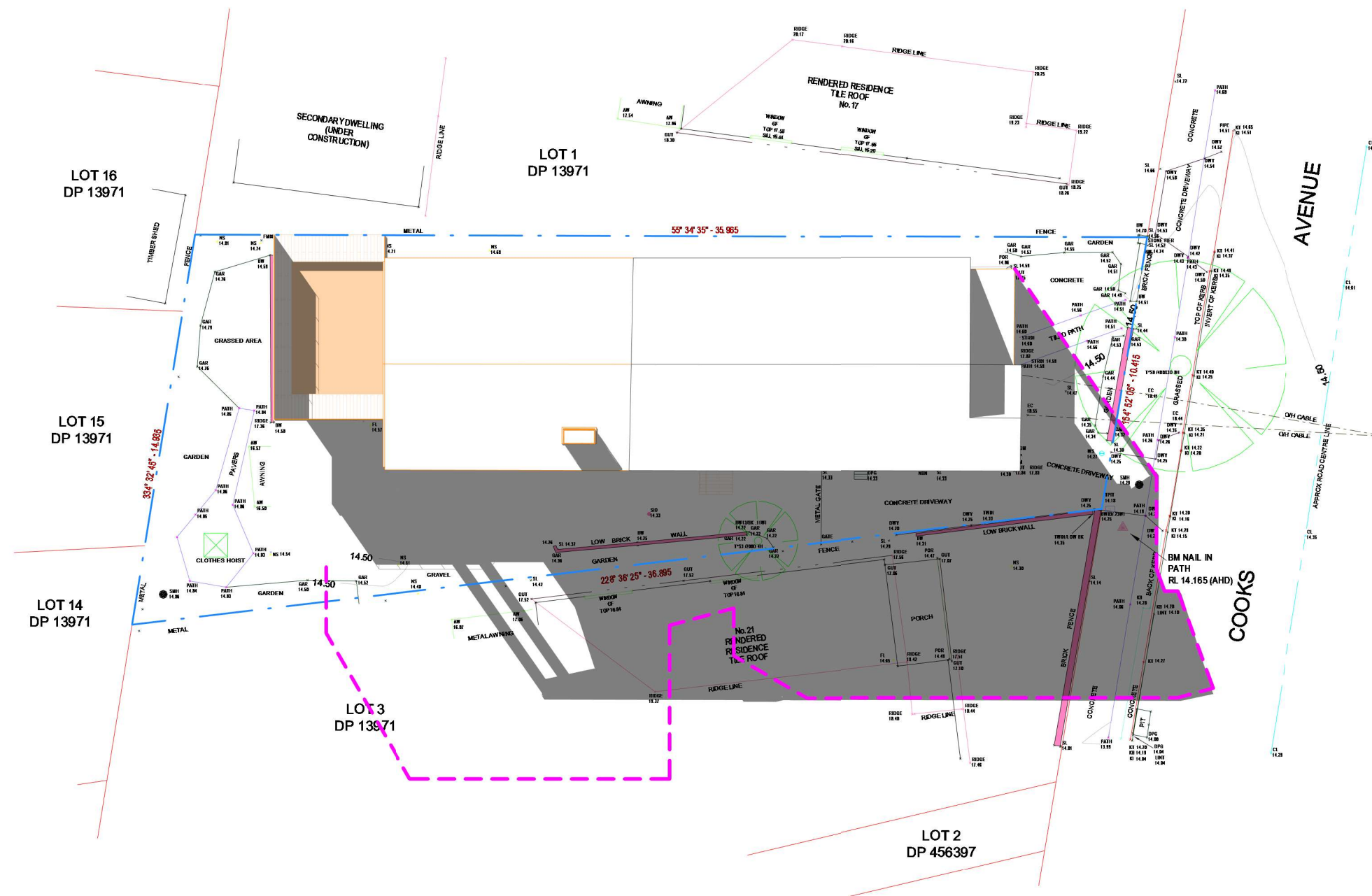
EXISTING	PROPOSED
8:00am SHADOW LINE	8:00am SHADOW LINE
12pm SHADOW LINE	12pm SHADOW LINE
4:00pm SHADOW LINE	4:00pm SHADOW LINE



1 | Shadows - 21st March 1200

SCALE: 1 : 200



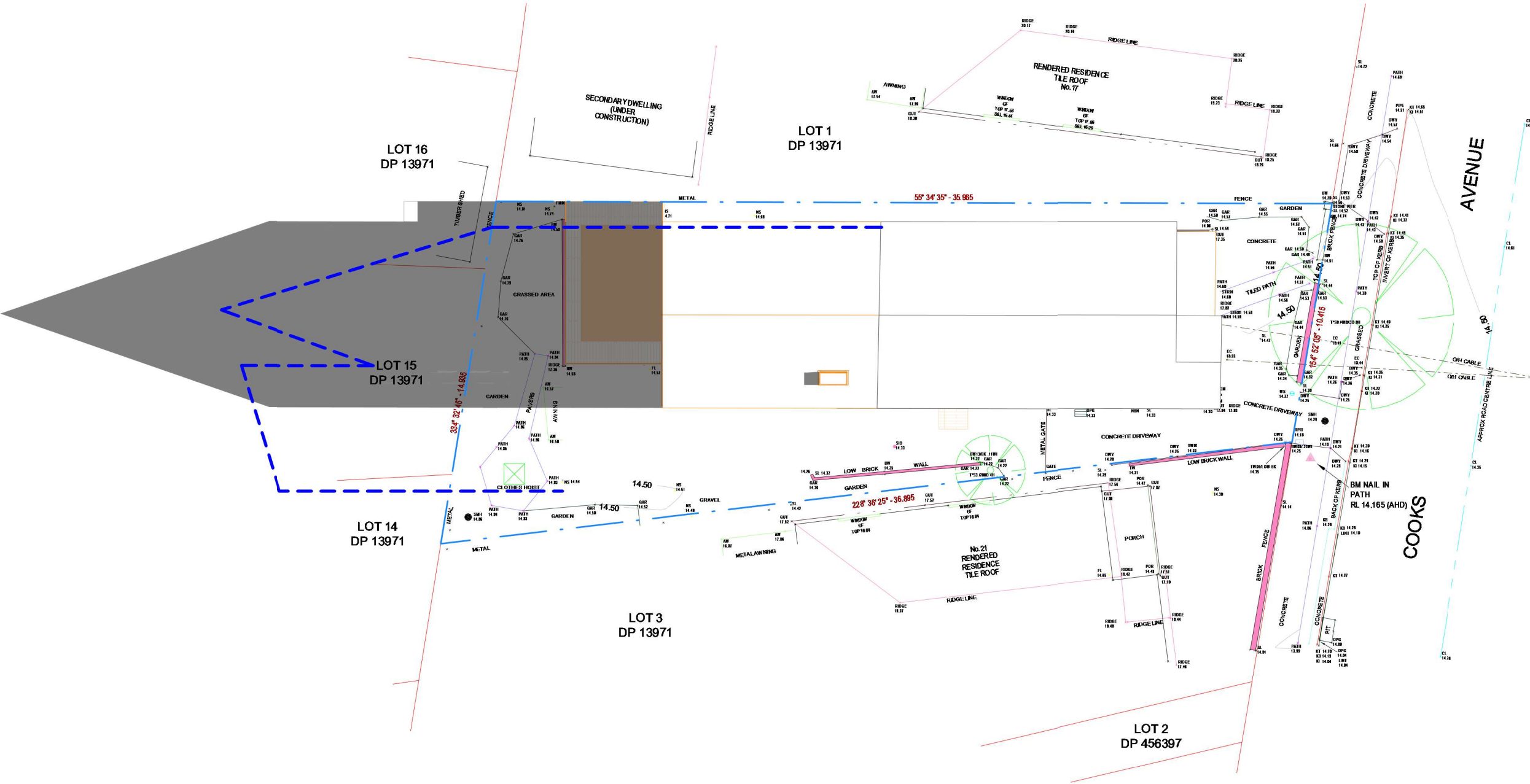


1 | Shadows - 21st March 1600

SCALE: 1:200



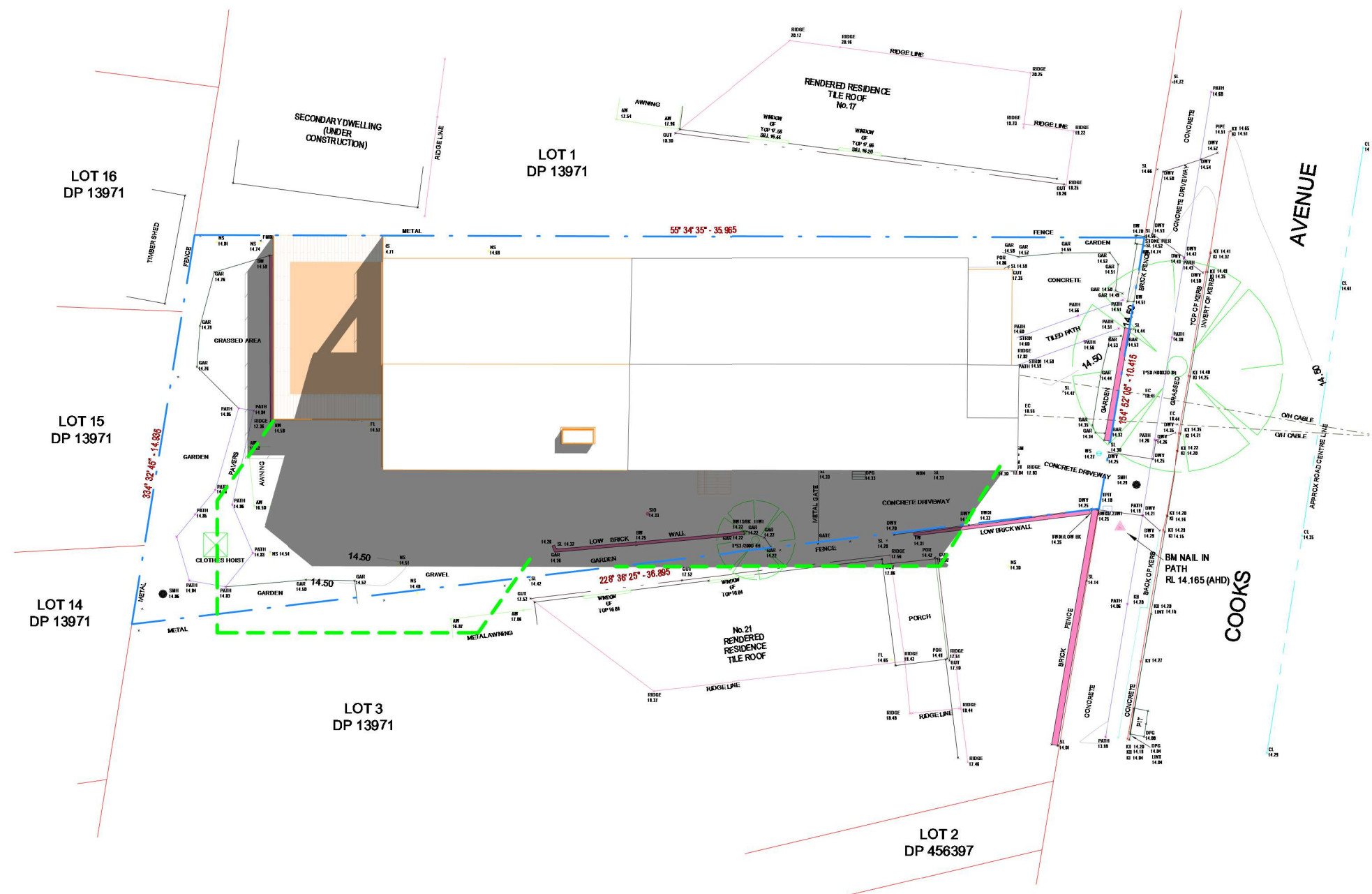
EXISTING	PROPOSED
8:00am SHADOW LINE	8:00am SHADOW LINE
12pm SHADOW LINE	12pm SHADOW LINE
4:00pm SHADOW LINE	4:00pm SHADOW LINE



1 | Shadows - 21st June 0800

SCALE: 1 : 200





1 | Shadows - 21st June 1200

SCALE: 1 : 200



